

CURRENT REVISION + NOTES

Date:	Description:	Issue:	Drawn:
15.10.24	DA ISSUE	J	AE



PROPOSED DUAL OCCUPANCY (STRATA)

CLIENT: PENMAN

STATUS: DA ISSUE

LOT No: 25/1 DP No: 22922

STREET: 32 PALM ROAD, FORSTER 2428

CWC JOB #: A5835

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Building Designers

GENERIC | TYPICAL KEY, LEGEND AND ABBREVIATIONS FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET.

REVISED JANURARY 2021

SYMBOLS AND LINES

SITE PLAN | S68 S138 PLAN

	LOT BOUNDARY
	SEWER LINE
	STORMWATER LINE
	WATER CONNECTION LINE
	DOWNPIPE TO WATER TANK
	DOWNPIPE FROM TANK TO APPLIANCE
	SILTATION CONTROL FENCING
	SITE HOARDING FENCING
	BATTER EXTREMITIES LINE
	EASEMENT BOUNDARY
	OVERHEAD POWER LINES

	FALL OF BATTER SLOPE
	DRIVEWAY SURFACE
	GARDEN TAP
	WATER METER / ALTERNATE WATER METER
	SANDBAG
	TEMPORARY HOARDING GATES
	STREET TREE / SITE TREE
	LIGHT POLE
	POWER POLE

	ELECTRICAL CUBICLE / PIT
	NBN PIT
	TELECOMMUNICATIONS PIT
	TO BE DEMOLISHED / REMOVED
	DEMOLITION LINE

FLOOR PLANS / SECTIONS (INCL SETOUT, ROOF, DETAIL CALL OUTS)

	OVERHEAD ITEM
	DEMOLITION LINE
	UPPER FLOOR OUTLINE
	ROOF OUTLINE OVER
	RAKED CEILING LINE
	BEAM LINE
	SQUARE SET OPENING
	TERMITE PROTECTION: TO A.S 3660.1
	NATURAL GROUND LINE (EXCAVATED)
	COLUMN (MATERIAL AS PER SCHEDULE OR PLAN)
	MASONRY PIER (SIZE AS PER SCHEDULE OR PLAN)
	ENGAGED PIERS: TO COMPLY WITH A.S 4773.1-2010 & A.S 4773.2-2010
	INSULATION BATTING
	TO BE DEMOLISHED / REMOVED
	EARTH / SOIL

	FILL (TO ENGINEERS DETAIL)
	WET AREA TILED FLOOR SURFACE
	COMMON / OUTDOOR TILED FLOOR SURFACE
	BROOM FINISH CONCRETE FLOOR SURFACE
	MASONRY WALL
	CONCRETE
	TIMBER/METAL STUD FRAMED WALL
	CONCRETE BLOCK WALL
	MASONRY VENEER WALL
	METAL SHEET ROOFING
	KLIP-LOK (OR SIMILAR) METAL SHEET ROOFING
	TILED ROOF
	WAFFLE POD (TO ENGINEERS DETAIL)
	TACTILE GROUND SURFACE INDICATORS: TO A.S 1428.4.1:2009
	STAIRS INCLUDING DIRECTION OF TRAVEL (UP)
	RAMP INCLUDING DIRECTION OF TRAVEL (UP)

	GARDEN TAP
	RAINWATER DOWNPIPES: TO A.S 3500
	SMOKE ALARMS: SMOKE ALARMS TO A.S 3786 AND NCC, VOL. 2, PART H3D6 AND PART 9.5 OF THE ABCB HOUSING PROVISIONS. ALL ALARMS/DETECTORS ARE TO BE INTERCONNECTED. LOCATIONS ON PLANS ARE INDICATIVE. INSTALLATION TO BE AS PER STANDARDS ABOVE, AND MANUFACTURERS SPECIFICATIONS
	MECHANICAL VENTILATION: MECHANICAL VENTILATION EXTERNALLY DUCTED TO COMPLY WITH NCC, VOL. 2, PART H4D7 AND PART 10.6 AND 10.8.2 OF THE ABCB HOUSING PROVISIONS
	SLIDING DOOR UNIT OPENING DIRECTION
	SLIDING WINDOW OPENING DIRECTION
	AWNING/CASEMENT WINDOW OPENING DIRECTION
	HINGED DOOR OPENING DIRECTION
	GAS BOTTLES
	ELECTRICAL METER BOX
	GAS INSTANTANEOUS HOT WATER SERVICE
	HOT WATER TANK
	SOLAR HOT WATER SERVICE
	COOKTOP
	SINK TYPICAL

GENERAL SYMBOLS AND ARCHITECTURAL SYMBOLS

	NORTH
	WINDOW TAG (DA/CC)
	DOOR TAG (DA/CC)

	TYPICAL SECTION MARKER
	TYPICAL ELEVATION MARKER
	VIEW TAG AND SCALE
	TYPICAL CALL OUT MARKER

RENOVATION / DEMOLITION SYMBOLS

	TO BE DEMOLISHED OR REMOVED
	EXISTING ITEM / ELEMENT (FLOOR/WALLS/WINDOWS ETC)
	PROPOSED NEW ITEM / ELEMENT
	TO BE DEMOLISHED OR REMOVED
	EXISTING AREA / FACADE / ROOM

MULTI STOREY SITE PLAN SYMBOLS / LEGEND

	LOWEST FLOOR (GROUND TYPICAL)
	MIDDLE FLOOR
	UPPER FLOOR

GENERAL ABBREVIATIONS

ARI	AVERAGE RECCURANCE INDEX	F	FIXED GLASS / PANEL	PB	PLASTER BOARD
AHD	AUSTRALIAN HEIGHT DATUM	FG	FIXED GLASS WINDOW	RET. WALL	RETAINING WALL
CLT	CROSS LAMINATED TIMBER	GLT	GLUE LAMINATED TIMBER	RC	REINFORCED CONCRETE
COL.	COLUMN	GTAP	GARDEN TAP	PV	PHOTOVOLTAIC
COW	COST OF WORKS	GPO	GENERAL POWER OUTLET	RL	REDUCED LEVEL
DCP	DEVELOPMENT CONTROL PLAN	GRG	GARAGE	SB	SUB ELECTRICAL METER BOX
DEG.	DEGREES	HWS	HOT WATER SERVICE	SL	SURFACE LEVEL
DGPO	DOUBLE GENERAL POWER OUTLET	LEP	LOCAL ENVIRONMENT PLAN	SW	STORM WATER
DH	DOUBLE HUNG WINDOW	LOH	LIFT OFF HINGE	TRH	TOILET ROLL HOLDER
DP	RAINWATER DOWNPIPE	LVL	LAMINATED VENEER LUMBER	T.O.K	TOP OF KERB
DTR	DOUBLE TOWEL RAIL	MECH.	MECHANICAL	T.O.W	TOP OF WALL
HWS	HOT WATER SERVICE	MB	ELECTRICAL METER BOX	WC	WATER CLOSET
FC	FIBRE CEMENT	MR	MOISTURE RESISTANT	1650B	BATH SIZING
F.S.L	FINISHED SURFACE LEVEL	MH	MAN HOLE	900V	VANITY SIZING
		NGL	NATURAL GROUND LINE	820	INTERIOR DOOR SIZING



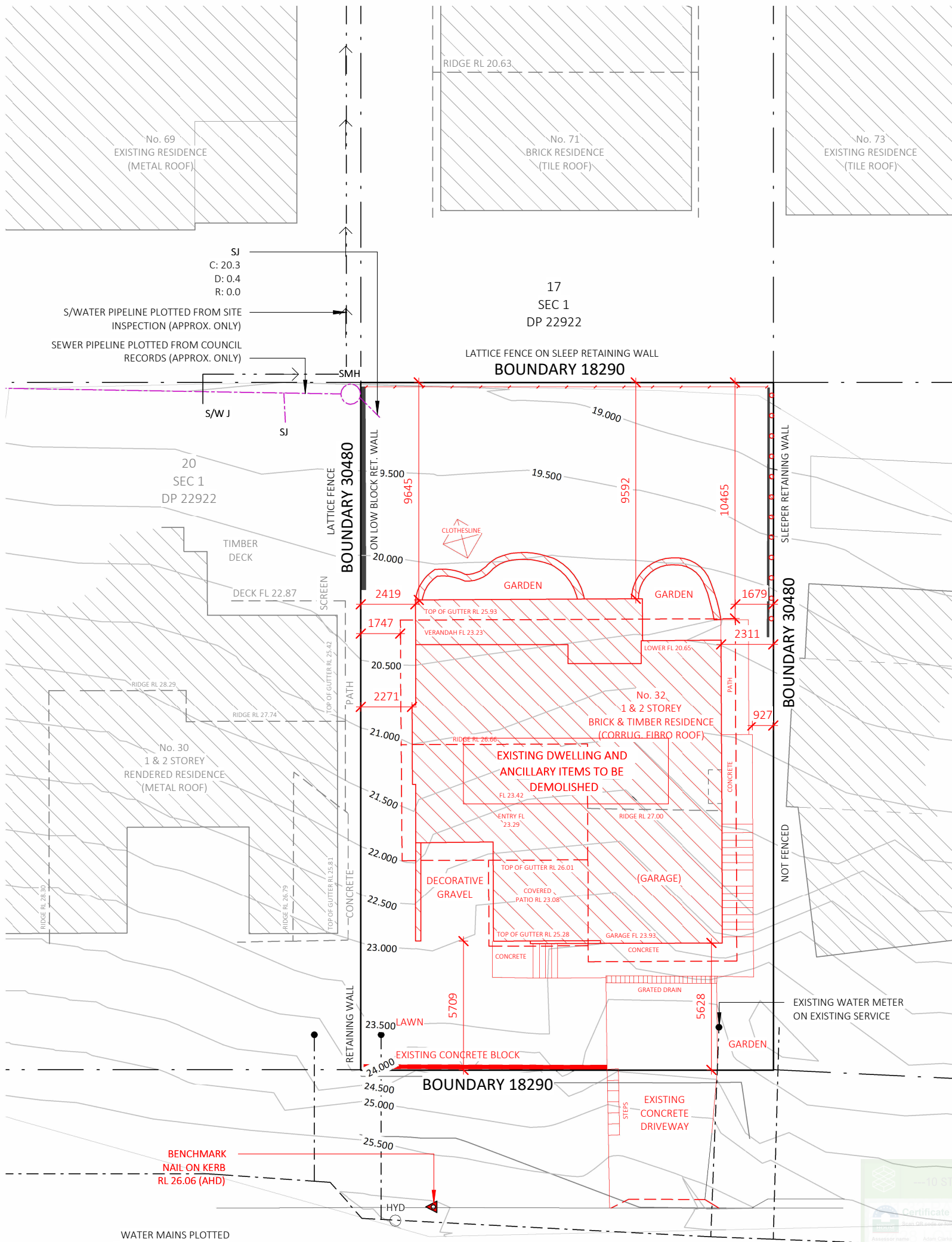
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PROJECT: PROPOSED DUAL OCCUPANCY (STRATA)		LEGENDS		DRAWING REVISION + NOTES			
STATUS: DA ISSUE		SHEET: 1 OF 21		Date:	Revision:	Issue:	Drawn:
LOT No: 25/1 DP No: 22922				04.06.24	Revision 4	D	AE
STREET: 32 PALM ROAD, FORSTER 2428				11.06.24	REVISED	E	AE
				23.08.24	REVISED	F	AE
				03.09.24	DRAFT DA ISSUE	G	AE
				15.10.24	DRAFT DA ISSUE	H	AE
					DA ISSUE	J	AE

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SITE PLAN - DEMO

1 : 200

SITE INFORMATION & LEGEND

SITE AREA: = 575.5m²
OVERALL HABITABLE AREA = 369.9m²
(including garages/store)
GROSS FLOOR AREA (as per LEP definition) = 301.9m²
FLOOR SPACE RATIO = 52.4% ; 0.52:1
BUSHFIRE AFFECTED NO
FLOOD AFFECTED NO
APPROX HARDSTAND AREA = 385m²
APPROX LANDSCAPED AREA = 190m² (33%)

- SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD
- SITE HOARDING AND SECURITY FENCE
- WATER MAINS (APPROX ONLY)
- STORMWATER LINES (APPROX ONLY)
- SEWER LINES (APPROX ONLY)

- LINE OF EASEMENTS
- PROPOSED GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)
- LINE OF BATTER TO GROUND LEVELS (TO BE USED AS A GUIDE ONLY)
- ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY **ZENITH SURVEY SOLUTIONS**. ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

BUSHFIRE NOTES:

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).

BASIX NOTES:

BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

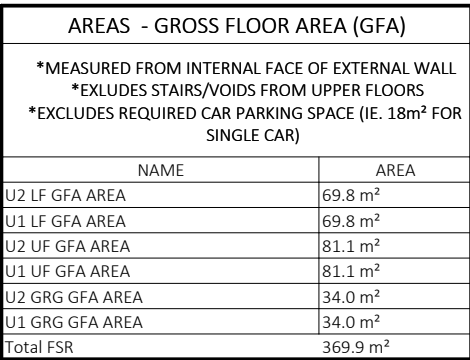


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PROJECT:PROPOSED DUAL OCCUPANCY (STRATA)	
STATUS: DA ISSUE	SHEET: 2 OF 21
LOT No: 25/1 DP No: 22922	
STREET: 32 PALM ROAD, FORSTER 2428	
CLIENT: PENMAN	

SITE PLAN - DEMO	
SCALE:	1 : 200
SHEET SIZE:	A3
START DATE:	08.03.24
DWG No:	A5835

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
04.06.24	Revision 4	D	AE
11.06.24	REVISED	E	AE
23.08.24	REVISED	F	AE
03.09.24	DRAFT DA ISSUE	H	AE
15.10.24	DRAFT DA ISSUE	J	AE



ANY STOCKPILING OF SOILS ON SITE WILL
NEED TO BE CONTROLLED FROM DUST BY
WATERING OR COVERING AS REQUIRED
TO PREVENT EROSION & DUST NUISANCE.
HOSE TO BE AVAILABLE ON SITE.

BUILDER TO LOCATE THE ELECTRICAL AND TELSTRA SERVICES PRIOR TO THE START OF CONSTRUCTION

PROPOSED HOARDING AND SECURITY FENCE TO BE INSTALLED TO BOUNDARIES TO PREVENT UN-AUTHORISED ACCESS TO SITE DURING CONSTRUCTION

NOTE:
FENCES TO BE REPLACED
1800MM HIGH TIMBER FENCE WITH TRELLIS

24
SEC 1
DP22922
APPROVED UNITS



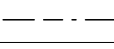
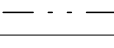

EXISTING WATER METER
EXISTING SERVICE—
AND BAGS PLACED IN KERB TO CATCH
EXCESS SOILS FROM SITE KERB TO BE
MAINTAINED DAILY
CROSSOVER REGRADED TO SUIT DRIVEWAY

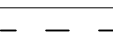
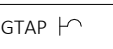


TRAINING WALLS TO FORM COURTYARD
D GARDENS TO MAX__
M TO ENG DETAILS



1 : 200

SITE AREA:	= 575.5m ²
OVERALL HABITABLE AREA (including garages/store)	=369.9m ²
GROSS FLOOR AREA (as per LEP definition)	=301.9m ²
FLOOR SPACE RATIO	= 52.4% ; 0.52:1
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	SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD
	SITE HOARDING AND SECURITY FENCE
	WATER MAINS (APPROX ONLY)
	STORMWATER LINES (APPROX ONLY)
	SEWER LINES (APPROX ONLY)

	LINE OF EASEMENTS
	PROPOSED GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)
	LINE OF BATTER TO GROUND LEVELS (TO BE USED AS A GUIDE ONLY)
	ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY ZENITH SURVEY SOLUTIONS ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

BUSHFIRE NOTES:

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).

BASIX NOTES:

BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

GENERAL PLAN SET NOTES:

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PROJECT:PROPOSED DUAL OCCUPANCY (STRATA)		SITE PLAN - PROPOSED		DRAWING REVISION + NOTES			
				Date:	Revision:	Issue:	Drawn:
STATUS:DA ISSUE	SHEET: 3 OF 21	SCALE:	1 : 200	Date 4	Revision 4	D	
LOT No: 25/1 DP No: 22922		SHEET SIZE:	A3	04.06.24	REVISED	E	AE
STREET: 32 PALM ROAD, FORSTER 2428		START DATE:	08.03.24	11.06.24	REVISED	F	AE
				23.08.24	DRAFT DA ISSUE	G	AE
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CLIENT: PENMAN		DWG No:	A5835	15.10.24	DA ISSUE	J	AE

SUMMARY OF BASIX COMMITMENTS	
THERMAL COMFORT REQUIREMENTS	
EXTERNAL WALLS	Brick Veneer, R2.70 W/Class 4 Vapour Barrier Framed W/FC Cladding, R2.70 Framed W/Metal Cladding, R2.70
INTERNAL WALLS	Framed Parti Wall, R2.00 each side Framed Adjacent Roof Space, R2.70 Framed Garage, Utility, Powder, R1.50
FLOORS	Concrete, On Ground, No Insulation Suspended Concrete, Enclosed, No Insulation Framed (Alpha Panel), Enclosed, R3.50 Frame (Alpha Panel), Abv Lower, R2.50
CEILING	UNIT 1: Ceiling Insulation R5.00 UNIT 2: Ceiling Insulation R4.00
ROOF	Pitched roof, framed and unventilated, R1.8 foil-backed blanket, Colour: Light (SA < 0.475)
SHADING	As Per Plans
GLAZING	As Per natHERS Certification
WATER COMMITMENTS	
SHOWERHEADS: 4* >6 but <=7.5L/min	TOILETS: 3* STAR
BASIN TAPS: 3* STAR	KITCHEN TAPS: 3* STAR
INDIVIDUAL WATER TANK:	3,000 L INDIVIDUAL ROOF COLLECTION : 100% OF ROOF AREA
RAINWATER CONNECTION:	ALL TOILETS IN THE DEVELOPMENT COLD WATER TAP IN THE LAUNDRY AT LEAST 1 EXTERNAL TAP
ENERGY COMMITMENTS	
HWS:	Electric Heat Pump (Air Sourced) STCs 31– 35
COOLING:	Ceiling Fans in at least 1 bedroom 1-phase air-conditioning in at least 1 living room and 1 bedroom (3.5 Avg Zone Star Rating, day/night zoned between living and bedrooms)
HEATING:	1-phase air-conditioning in at least 1 living room and 1 bedroom (3.5 Avg Zone Star Rating, day/night zoned between living and bedrooms)
VENTILATION:	Bathroom, Kitchen: ducted, manual control Laundry: ducted, manual control
APPLIANCES:	Induction Cooktop & Electric Oven to be installed
ARTIFICIAL LIGHTING:	The following rooms are to be primarily lit by fluorescent or LED dedicated fittings: All Bedrooms/Study All Living/Dining Rooms The Kitchen All Hallways The Laundry All Bathrooms/Toilets
CLOTHESLINE:	Fixed outdoor clothes drying line to be installed
ALTERNATIVE ENERGY:	A photovoltaic system with the capacity to generate at least 1.5 peak kW is to be installed and connected to the development's electrical system
*REFER TO BASIX/natHERS CERTIFICATE FOR EXACT DETAILS AND REQUIREMENTS	

AREAS - ROOF AREAS		
NAME	AREA	
U1 ROOF AREA	149.9 m ²	
U2 ROOF AREA	149.9 m ²	
TOTAL	299.8 m ²	



SITE S68 S138 PLAN

1 : 200

S68 & S138 INFO & LEGEND

STORMWATER/RAINWATER TO BE DIRECTED TO ON-SITE RAINWATER STORAGE TANKS WITH OVERFLOWS TO BE CONNECTED TO (TO ADJOINING LOT JUNCTION, WHICH RUNS TO UNDERWOOD ST, REF TO HYD ENGINEERS DETAILS)
(SURFACE AND SUB-SURFACE STORMWATER TO BE DISPOSED OF VIA PIPEWORK IN ACCORDANCE WITH AS 3500)

	CATCHMENT OF ROOF AREA TO ON-SITE RAINWATER TANKS: = APPROX. 100% EACH ROOF AREA		WATER FLOW FROM RAINWATER STORAGE TANKS TO APPLIANCES AND FIXTURES (TO BE USED AS A GUIDE ONLY)		GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)
	PROPOSED RAINWATER TANKS 3,000 L MIN. AS PER BASIX REQUIREMENTS		WATER FLOW FROM DOWNPIPES TO RAINWATER TANKS (TO BE USED AS A GUIDE ONLY)		DOWNPIPE LOCATIONS (TO BE USED AS A GUIDE ONLY)
	SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD		STORMWATER FLOW (TO BE USED AS A GUIDE ONLY)		ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY ZENITH SURVEY SOLUTIONS ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.
	SEWER LINE (TO BE USED AS A GUIDE ONLY)				

DRIVEWAY INFO

TO BE IN ACCORDANCE WITH SD0100

KERB & GUTTER
INVERT LEVEL

RL: 25.815

GARAGE FFL

RL: 23.935

DISTANCE FROM
KERB TO GARAGE

RL: 1.88

*REFER TO ENGINEERS DETAILS FOR DRIVEWAY GRADIENT

BUSHFIRE NOTES:

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BASIX NOTES:

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GENERAL PLAN SET NOTES:

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BAL - XX

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STATUS:DA ISSUE

LOT No: 25/1 DP No: 22922

STREET: 32 PALM ROAD, FORSTER 2428

CLIENT: PENMAN

SHEET: 4 OF 21

S68 & S138 PLAN

SCALE:

As indicated

SHEET SIZE:

A3

START DATE:

08.03.24

DWG No:

A5835

DRAWING REVISION + NOTES

Date:

4

04.06.24

11.06.24

23.08.24

03.09.24

15.10.24

Revision:

Revision 4

REVISED

REVISED

DRAFT DA ISSUE

DRAFT DA ISSUE

DA ISSUE

Issue:

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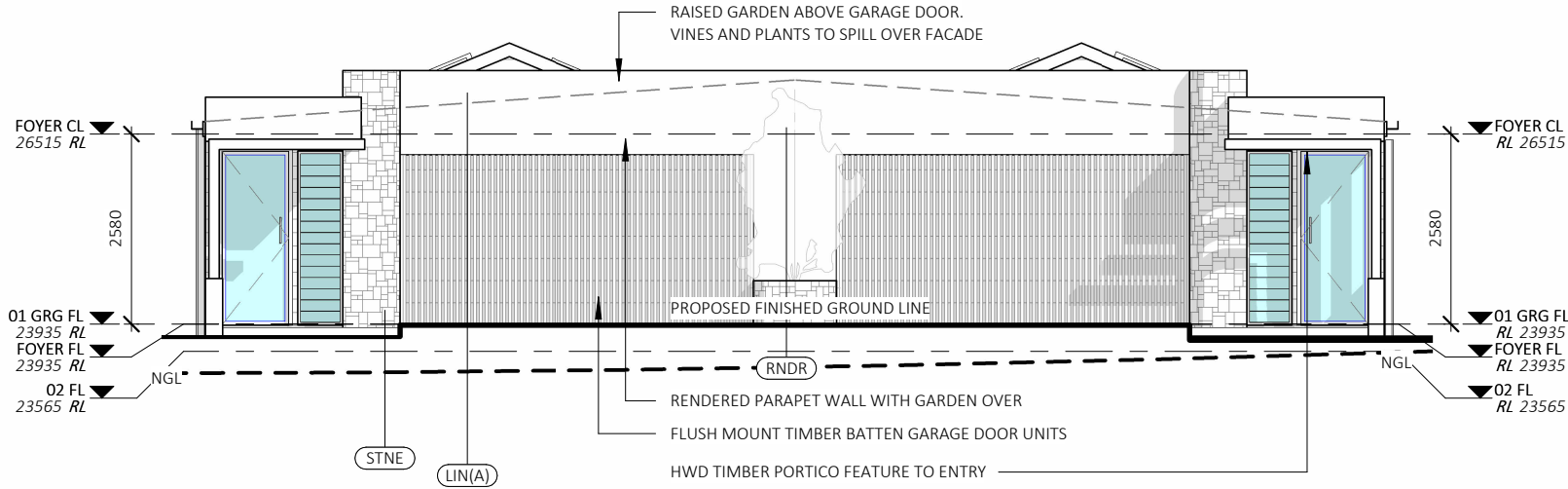
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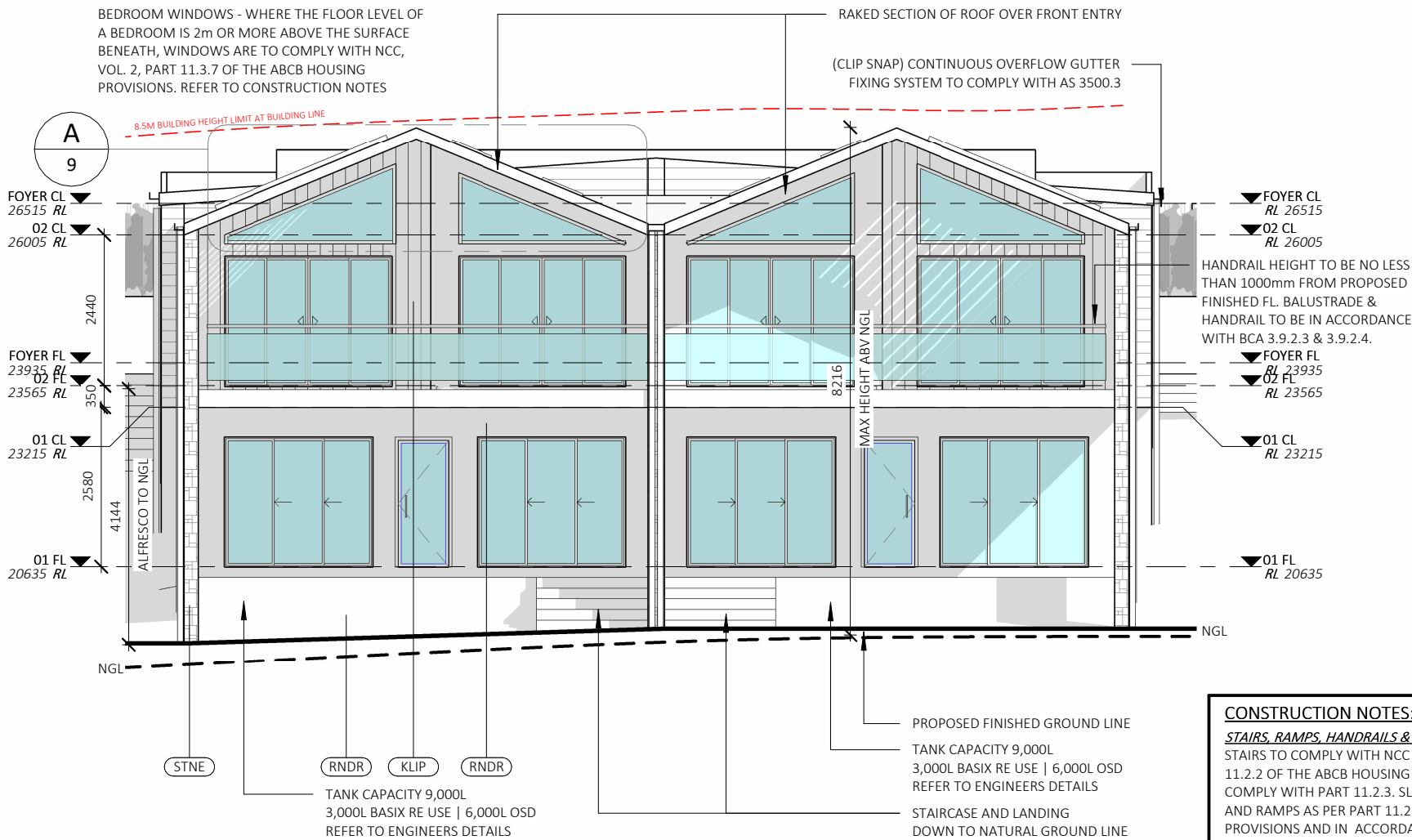
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EXTERNAL FINISHES (BY SHEET)	
LABEL	MATERIAL DESCRIPTION
KLIP	
LIN(A)	SCYON LINEA 150mm WIDE HORIZONTAL CLADDING
RNDR	SELECT RENDER FINISH
STNE	SELECT STONE CLADDING



SOUTH WEST ELEVATION

1 : 100



NBORTH EAST ELEVATION

1 : 100

CONSTRUCTION NOTES:

STAIRS, RAMPS, HANDRAILS & BALUSTRADE NOTES:
STAIRS TO COMPLY WITH NCC VOL. 2, H5D2 AND PART 11.2.2 OF THE ABCB HOUSING PROVISIONS. RAMPS TO COMPLY WITH PART 11.2.3. SLIP RESISTANCE TO STAIRS AND RAMPS AS PER PART 11.2.4 OF THE ABCB HOUSING PROVISIONS AND IN ACCORDANCE WITH AS4586. BARRIERS AND HANDRAILS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH NCC, VOL. 2, H5D3 AND PARTS 11.3.3, 11.3.4, 11.3.5 AND 11.3.6 OF THE ABCB HOUSING PROVISIONS.

WINDOW NOTES:
BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE ABCB HOUSING PROVISIONS. A BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW COVERED BY PART 11.3.8 (1) AND BARRIER MUST ALSO COMPLY WITH PART 11.3.8 (3)

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA 'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773 2-2010

COMMON WALL DETAILS:

- COMMON SEPARATING WALL TO COMPLY WITH NCC, VOL.2, PART H3D2 AND PART 9.3 OF THE ABCB HOUSING PROVISIONS FOR FIRE SEPARATION REQUIREMENTS.
- SOUND INSULATION TO SEPARATING WALL TO COMPLY WITH NCC, VOL. 2, PART H4D8 AND PART 10.7 OF THE ABCB HOUSING PROVISIONS
- **NOTE: REFER CSR REDBOOK FOR PARTYWALL SYSTEM OPTIONS AND REQUIREMENTS AND CSR DETAILS SHEET PROVIDED FOR ADDITIONAL INFORMATION**



BUSHFIRE NOTES:

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).

BASIX NOTES:

BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

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BAL - XX



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PROJECT:PROPOSED DUAL OCCUPANCY (STRATA)

STATUS:DA ISSUE

LOT No: 25/1 DP No: 22922

STREET: 32 PALM ROAD, FORSTER 2428

CLIENT: PENMAN

SHEET: 7 OF 21

ELEVATIONS

SCALE:

1 : 100

SHEET SIZE:

A3

START DATE:

08.03.24

DWG No:

A5835

DRAWING REVISION + NOTES

Date:

04.06.24

11.06.24

23.08.24

03.09.24

15.10.24

Revision:

Revision 4

REVISED

REVISED

DRAFT DA ISSUE

DRAFT DA ISSUE

DA ISSUE

Issue:

D

E

F

G

H

J

Drawn:

AE

AE

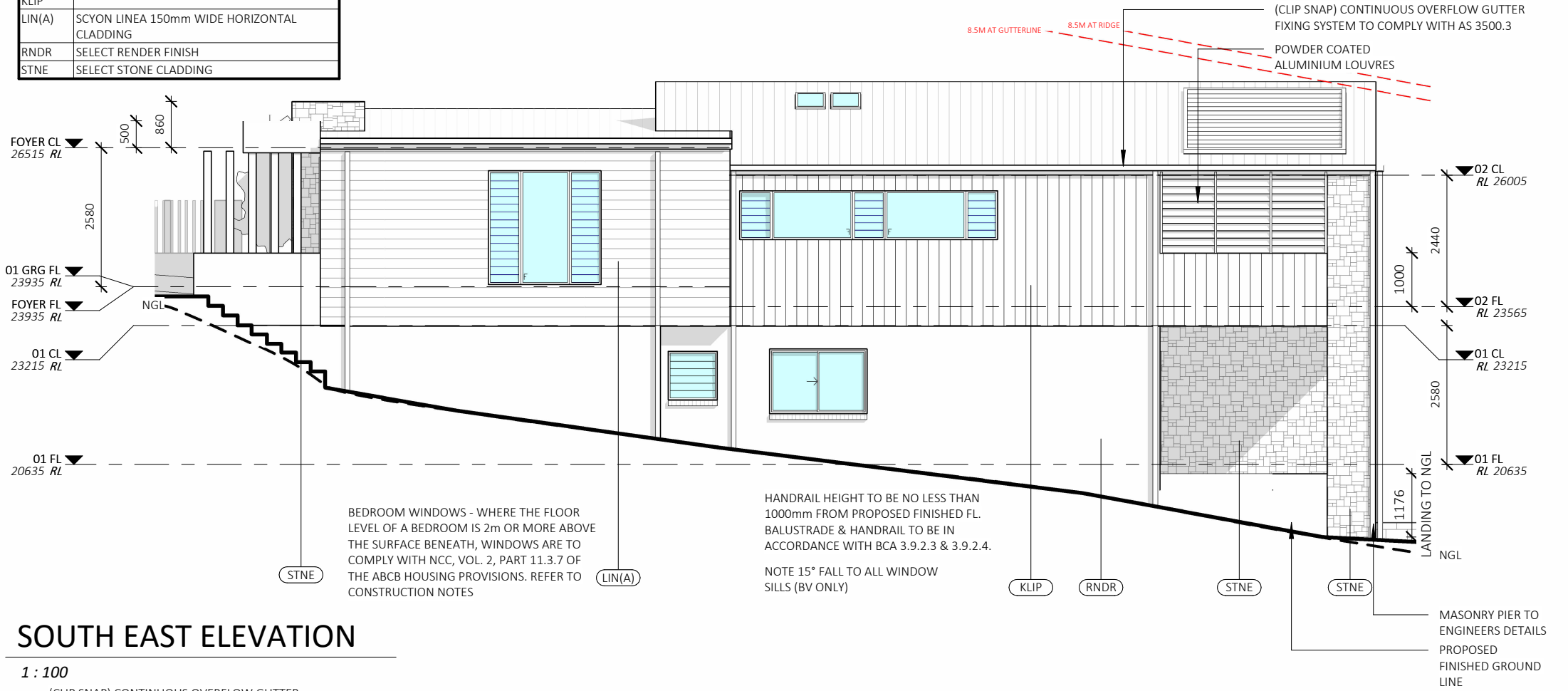
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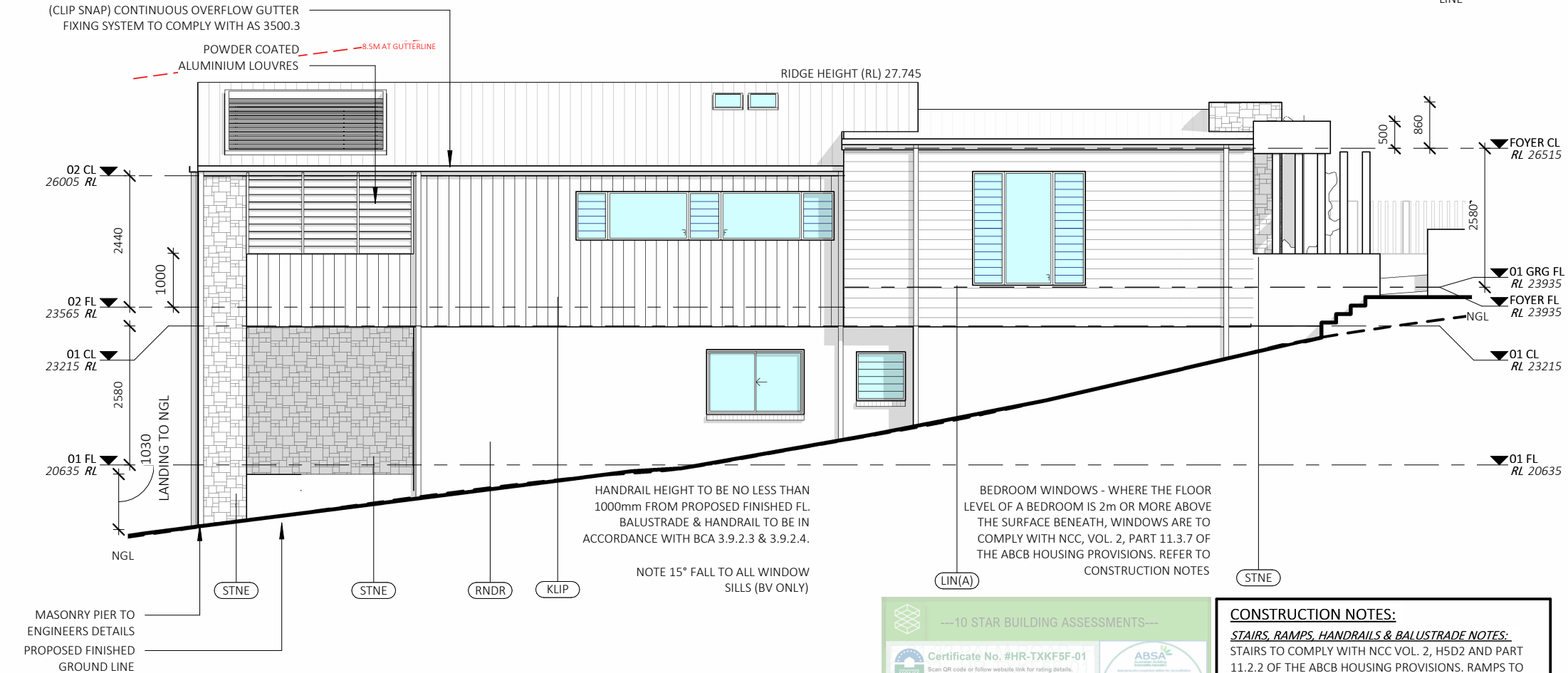
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EXTERNAL FINISHES (BY SHEET)	
LABEL	MATERIAL DESCRIPTION
KLIP	
LIN(A)	SCYON LINEA 150mm WIDE HORIZONTAL CLADDING
RNDR	SELECT RENDER FINISH
STNE	SELECT STONE CLADDING



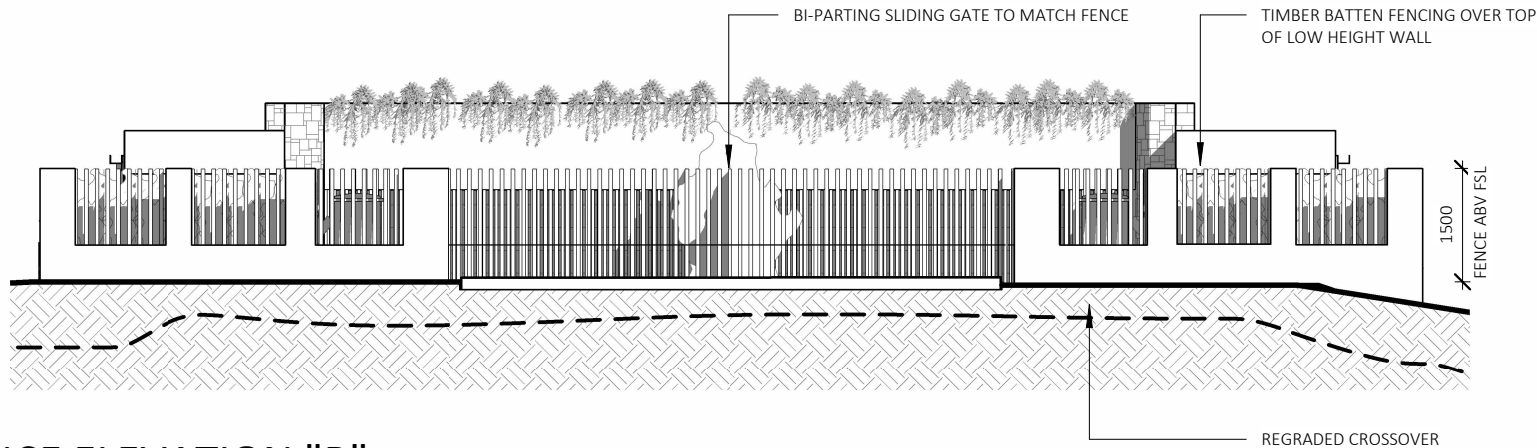
SOUTH EAST ELEVATION

1 : 100



NORTH WEST ELEVATION

1 : 100



FENCE ELEVATION "B"

1 : 100



CONSTRUCTION NOTES:

STAIRS, RAMPS, HANDRAILS & BALUSTRADE NOTES:

STAIRS TO COMPLY WITH NCC VOL. 2, H5D2 AND PART 11.2.2 OF THE ABCB HOUSING PROVISIONS. RAMPS TO COMPLY WITH PART 11.2.3. SLIP RESISTANCE TO STAIRS AND RAMPS AS PER PART 11.2.4 OF THE ABCB HOUSING PROVISIONS AND IN ACCORDANCE WITH AS4586. BARRIERS AND HANDRAILS TO BE NO LESS THAN 1000mm FROM PROPOSED FINISHED FL. BALUSTRADE & HANDRAIL TO BE IN ACCORDANCE WITH NCC, VOL. 2, H5D3 AND PARTS 11.3.3, 11.3.4, 11.3.5 AND 11.3.6 OF THE ABCB HOUSING PROVISIONS.

WINDOW NOTES:

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE ABCB HOUSING PROVISIONS. A BARRIER WITH A HEIGHT OF NOT LESS THAN 865mm ABOVE FLOOR IS REQUIRED TO AN OPENABLE WINDOW COVERED BY PART 11.3.8 (1) AND BARRIER MUST ALSO COMPLY WITH PART 11.3.8 (3)

WIND CATEGORY TO BE CONFIRMED PRIOR TO START OF CONSTRUCTION. IF N2 OR HIGHER, ENGAGED PIERS TO BRICKWORK AREA 'S ARE TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010

BUSHFIRE NOTES:

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).

BASIX NOTES:

BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

BAL - XX

PROJECT:PROPOSED DUAL OCCUPANCY (STRATA)

STATUS:DA ISSUE

LOT No: 25/1 DP No: 22922

STREET: 32 PALM ROAD, FORSTER 2428

CLIENT: PENMAN

SHEET: 8 OF 21

ELEVATIONS

SCALE:

1 : 100

SHEET SIZE:

A3

START DATE:

08.03.24

DWG No:

A5835

DRAWING REVISION + NOTES

Date:

04.06.24

11.06.24

23.08.24

03.09.24

15.10.24

Revision:

Revision 4

REVISED

REVISED

DRAFT DA ISSUE

DRAFT DA ISSUE

DA ISSUE

Issue:

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E

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Drawn:

AE

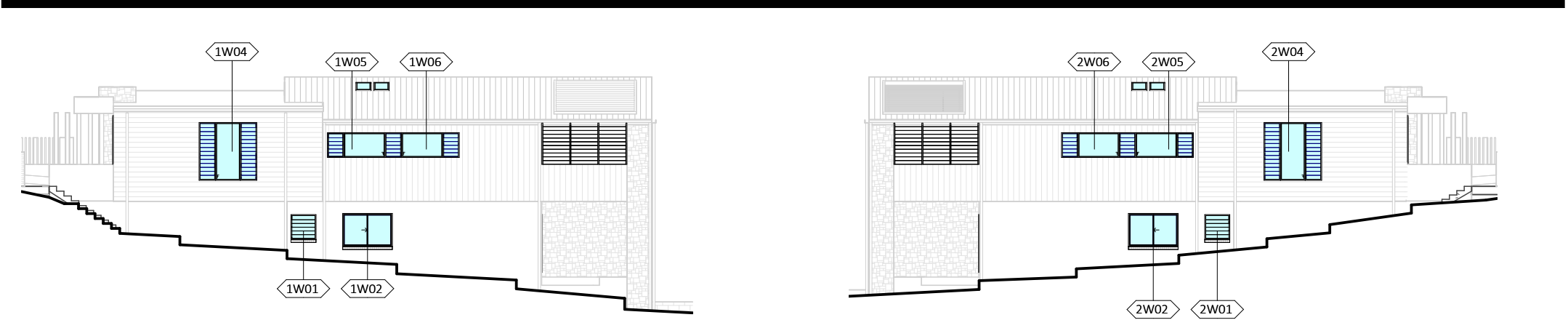
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AE



SOUTH EAST FACE GLAZING

1 : 200

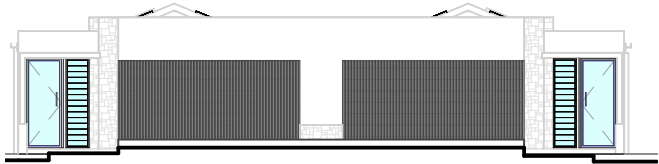
NORTH WEST FACE GLAZING

1 : 200



NORTH EAST FACE GLAZING

1 : 200



SOUTH WESTFACE GLAZING

1 : 200




WINDOW GLAZING SCHEDULE

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE WEATHER STRIPPING TO BE INSTALLED THROUGHOUT. PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH THE NCC, VOL. 2, H1D8 AND PART 8.4.6 OF ABCB HOUSING PROVISIONS					AS 4055 : WIND LOADS FOR HOUSING AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING AS 1170-Part 2: WIND ACTIONS AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.			
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION	GLAZING	AREA
1W01	01 FL	LOWER HALL	900	910	LOUVRE	ALUMINIUM	REF TO NATHERS	0.82 m ²
1W02	01 FL	BED 2	1200	1810	SLIDING	ALUMINIUM	REF TO NATHERS	2.17 m ²
1W03	01 GRG FL	ENTRY	2350	610	LOUVRE	ALUMINIUM	REF TO NATHERS	1.43 m ²
1W04	FOYER FL	ENTRY	2100	2100	LOUVRE	ALUMINIUM	REF TO NATHERS	4.41 m ²
1W05	02 FL	MEALS/LIVING	900	2100	LOUVRE	ALUMINIUM	REF TO NATHERS	1.89 m ²
1W06	02 FL	MEALS/LIVING	900	2700	FIXED/LOUVRE/FIXED	ALUMINIUM	REF TO NATHERS	2.43 m ²
2W01	01 FL	LOWER HALL	900	910	LOUVRE	ALUMINIUM	REF TO NATHERS	0.82 m ²
2W02	01 FL	BED 2	1200	1810	SLIDING	ALUMINIUM	REF TO NATHERS	2.17 m ²
2W03	FOYER FL	ENTRY	2350	610	LOUVRE	ALUMINIUM	REF TO NATHERS	1.43 m ²
2W04	FOYER FL	ENTRY	2100	2100	LOUVRE	ALUMINIUM	REF TO NATHERS	4.41 m ²
2W05	02 FL	MEALS/LIVING	900	2100	LOUVRE	ALUMINIUM	REF TO NATHERS	1.89 m ²
2W06	02 FL	MEALS/LIVING	900	2700	FIXED/LOUVRE/FIXED	ALUMINIUM	REF TO NATHERS	2.43 m ²
								26.31 m ²

DOOR GLAZING SCHEDULE

DOORS SPECIFIED USE NFRC UW & SHGCW VALUES. DOORS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE WEATHER STRIPPING TO BE INSTALLED THROUGHOUT. PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH THE NCC, VOL. 2, H1D8 AND PART 8.4.6 OF ABCB HOUSING PROVISIONS					AS 4055 : WIND LOADS FOR HOUSING AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING AS 1170-Part 2: WIND ACTIONS AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY BCA AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.			
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	TYPE	CONSTRUCTION	GLAZING	AREA
1GD01	01 FL	BED 3	2100	2410	STACKING 3P	ALUMINIUM	REF TO NATHERS	5.06 m ²
1GD03	01 FL	MPR	2100	2410	STACKING 3P	ALUMINIUM	REF TO NATHERS	5.06 m ²
1GD05	02 FL	MEALS/LIVING	2100	2710	SLIDING DOOR 4P	ALUMINIUM	REF TO NATHERS	5.69 m ²
1GD06	02 FL	ENSUITE	2100	2710	SLIDING DOOR 4P	ALUMINIUM	REF TO NATHERS	5.69 m ²
1GD07	01 GRG FL	ENTRY	2350	920	HINGED	ALUMINIUM	REF TO NATHERS	2.16 m ²
2GD01	01 FL	BED 3	2100	2410	STACKING 3P	ALUMINIUM	REF TO NATHERS	5.06 m ²
2GD03	01 FL	MPR	2100	2410	STACKING 3P	ALUMINIUM	REF TO NATHERS	5.06 m ²
2GD05	02 FL	MEALS/LIVING	2100	2710	SLIDING DOOR 4P	ALUMINIUM	REF TO NATHERS	5.69 m ²
2GD06	02 FL	ENSUITE	2100	2710	SLIDING DOOR 4P	ALUMINIUM	REF TO NATHERS	5.69 m ²
2GD08	FOYER FL	ENTRY	2350	920	HINGED	ALUMINIUM	REF TO NATHERS	2.16 m ²

BUSHFIRE NOTES: BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).	BASIX NOTES: BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.	GENERAL PLAN SET NOTES: CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS
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PROJECT:PROPOSED DUAL OCCUPANCY (STRATA)

STATUS:DA ISSUE

LOT No: 25/1 DP No: 22922

STREET: 32 PALM ROAD, FORSTER 2428

SHEET: 12 OF 21

CLIENT: PENMAN

GLAZING

SCALE:

1 : 200

SHEET SIZE:

A3

START DATE:

08.03.24

DWG No:

A5835

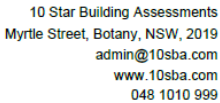
DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
04.06.24	Revision 4	D	AE
11.06.24	REVISED	E	AE
23.08.24	REVISED	F	AE
03.09.24	DRAFT DA ISSUE	G	AE
15.10.24	DRAFT DA ISSUE	H	AE
	DA ISSUE	J	AE

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Any items that are changed or altered require a new NatHERS certificate to be issue.

Compliance with this is required to be demonstrated upon completion to the certifying authority. The Certifier must confirm that these commitments have been installed and not altered.

ADDRESS	SUBURB / TOWN / POST CODE	LOT # DP#
32 PALM ROAD	Forster NSW 2428	LOT 25/1 DP 222922

FLOOR TYPE	ADDITIONAL INSULATION	OTHER INFORMATION
Susp concrete 150mm garage	nil	Garage
35mm Alpha floor system - Suspended external lined under	R2.50	Both units Master bed
35mm Alpha floor system - Suspended over subfloor	R3.50	Both units hallway
Waffle Pod slab	175mm waffle pods + 0.50XPS	

AREA	COVERING	OTHER INFORMATION
As per plans	N/A	

INTERNAL / EXTERNAL	WALL TYPE	ADDITIONAL INSULATION	OTHER INFORMATION
EXTERNAL	Brick Veneer - Class 4 vapour barrier	R2.70	
EXTERNAL	Sycon cladding direct fixed	R2.70	
EXTERNAL	PB walls to roof spaces	R2.70	
EXTERNAL	Double Brick	NIL	
INTERNAL	Plasterboard	R1.50	Walls shared with Garage, Utility PDW room
INTERNAL	Parti Wall	R2.00+R2.00	
INTERNAL	Plasterboard	R2.70	Adjacent roof space

SOLAR ABSORPTANCE Medium (= > 0.475 - = < 0.70)

ROOF CONSTRUCTION TYPE	INSULATION	OTHER INFORMATION
DWL 1 - External ceilings	R1.80 Anticon blanket	

NaTHERS REQUIREMENTS PLAN STAMP - 584.0 ESD-NAT-140824-A5835

Submitted by:

Version: 10

Page 1

WINDOWS AND GLAZING

SOLAR ABSORPTANCE Medium (= > 0.475 - = < 0.70)

FRAME TYPE	GLAZING	U VALUE	SHGC	SHAFT INSULATION / COVERINGS
VEL-010-01 W	Ventilating Skylight DG 3mm LoE 366 / 8.5mm Argon Gap / 5.36mm Clear La	2.53	0.21	Venetian blinds to Kit / Liv skylights
VEL-010-01 W	Ventilating Skylight DG 3mm LoE 366 / 8.5mm Argon Gap / 5.36mm Clear La	2.53	0.21	

AREA	TYPE	SIZE
Living area	CEILING FAN	1500 Dia
M Bed	CEILING FAN	1300 Dia
Bedrooms	CEILING FAN	1200 Dia
PDW, Kitchen	EXHAUST FAN	Sealed fan - max 150 x 150 pentirition
bathrooms, Ens.	EXHAUST FAN	Sealed fan - max 250 x 250 pentirition

DESCRIPTION	OTHER INFORMATION
As per plans - Downlighting to be of a sealed construction type.	

As per plans - Downlighting to be of a sealed construction type.

NaTHERS REQUIREMENTS PLAN STAMP - 584.0 ESD-NAT-140824-A5835

Submitted by:

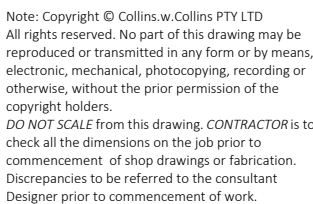
Version: 10

Page 2

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).

BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



PROJECT: PROPOSED DUAL OCCUPANCY (STRATA)

STATUS: DA ISSUE

STREET: 32 PALM ROAD, FORSTER 2428

CLIENT: PENMAN

SET-OUT PLAN

SCALE:	
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SHEET SIZE:	A3

DWG No:

DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
Date 4	Revision 4	D	
04.06.24	REVISED	E	AE
11.06.24	REVISED	F	AE
23.08.24	DRAFT DA ISSUE	G	AE
03.09.24	DRAFT DA ISSUE	H	AE
15.10.24	DA ISSUE	J	AE

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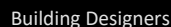
WWW.COLLINSWCOLLINS.COM.AU

1 : 200

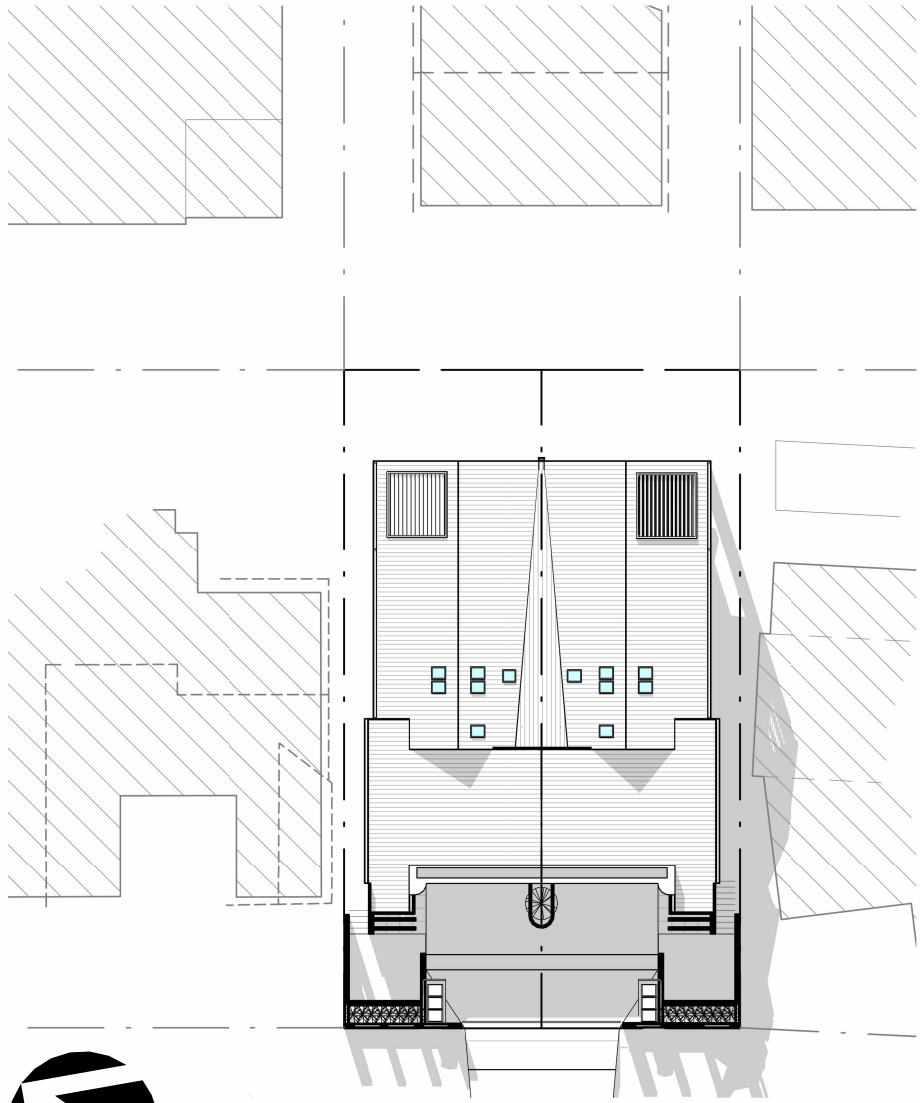
NEW EVERGREEN PROSTRATE SHRUBS OR GROUND COVER PLANTINGS

- THIS PLAN IS NOT BE USED FOR CONSTRUCTION
- THIS PLAN IS CONCEPTUAL ONLY AND IS DESIGNED TO HIGHLIGHT VARIOUS LANDSCAPE USES AROUND THE SITE
- ANY SUGGESTED PLANTS OR PLANT LIST IS INDICATIVE ONLY AND THE FINAL SELECTION OF ACTUAL SPECIES WILL BE SITE AND MICRO CLIMATE DEPENDENT
- ALL HARD-SCAPED SURFACES SHALL BE INSTALLED BY QUALIFIED LANDSCAPE TRADES AND AS PER MANUFACTURERS INSTRUCTIONS
- TURF SPECIES SHALL CONSISTS OF A WARM SEASON SPECIES ONLY SUCH AS; BUFFALO, KIKUYU OR COUCH
- THE ADVICE AND PLAN FROM A PROFESSIONAL LANDSCAPE DESIGNER IS TO BE SOUGHT PRIOR TO ANY CONSTRUCTION / LANDSCAPE WORKS COMMENCING
- LANDSCAPE HAS A DOMINANT NORTHERN ASPECT AND SELECTED PLANTS ARE TO BE SUN TO FULL SUN TOLERANT CAPABLE OF WITHSTANDING YEAR ROUND NORTHERN SUN
- PLANTS ON THE IMMEDIATE SOUTHERN SIDE OF BUILDINGS AND DWELLING MAY NEED SOME SHADE TOLERANCE
- PLANTINGS ARE TO BE WATER WISE AND DROUGHT TOLERANT ONCE ESTABLISHED

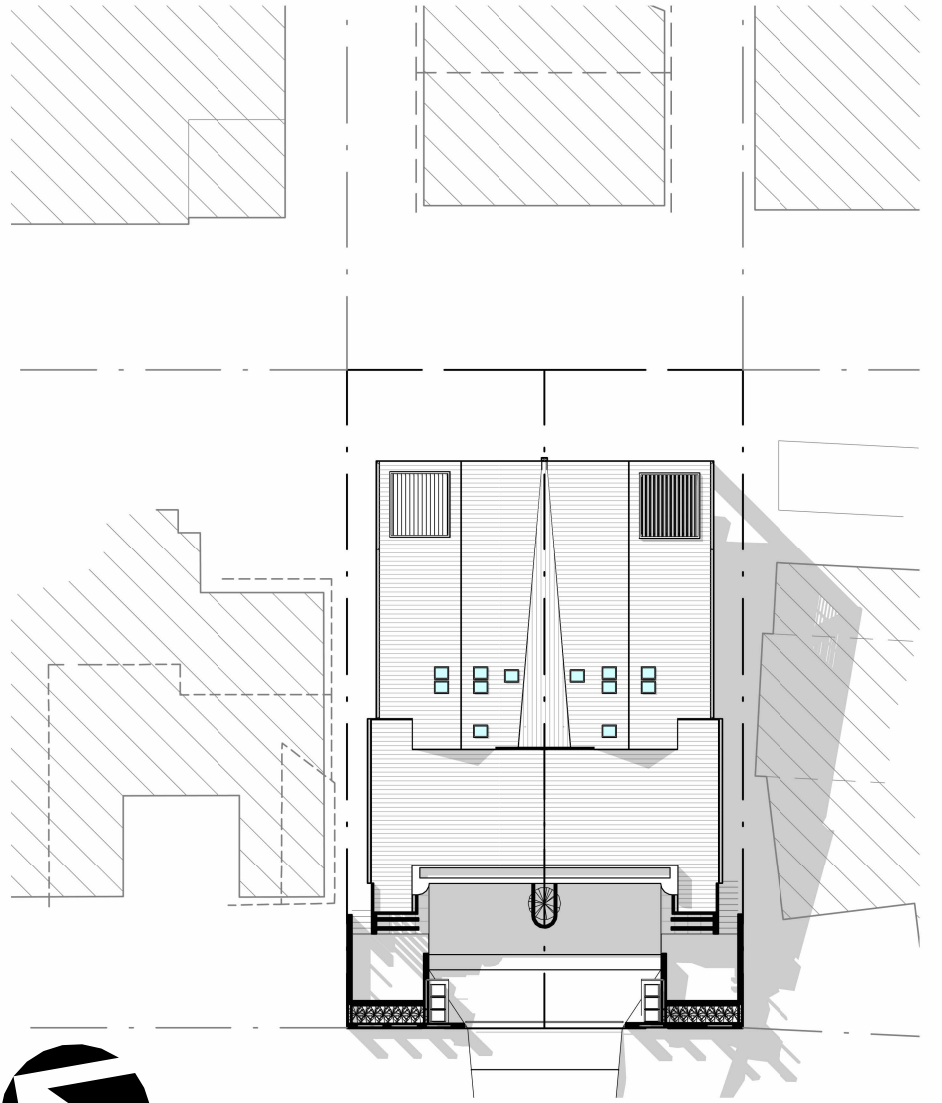
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



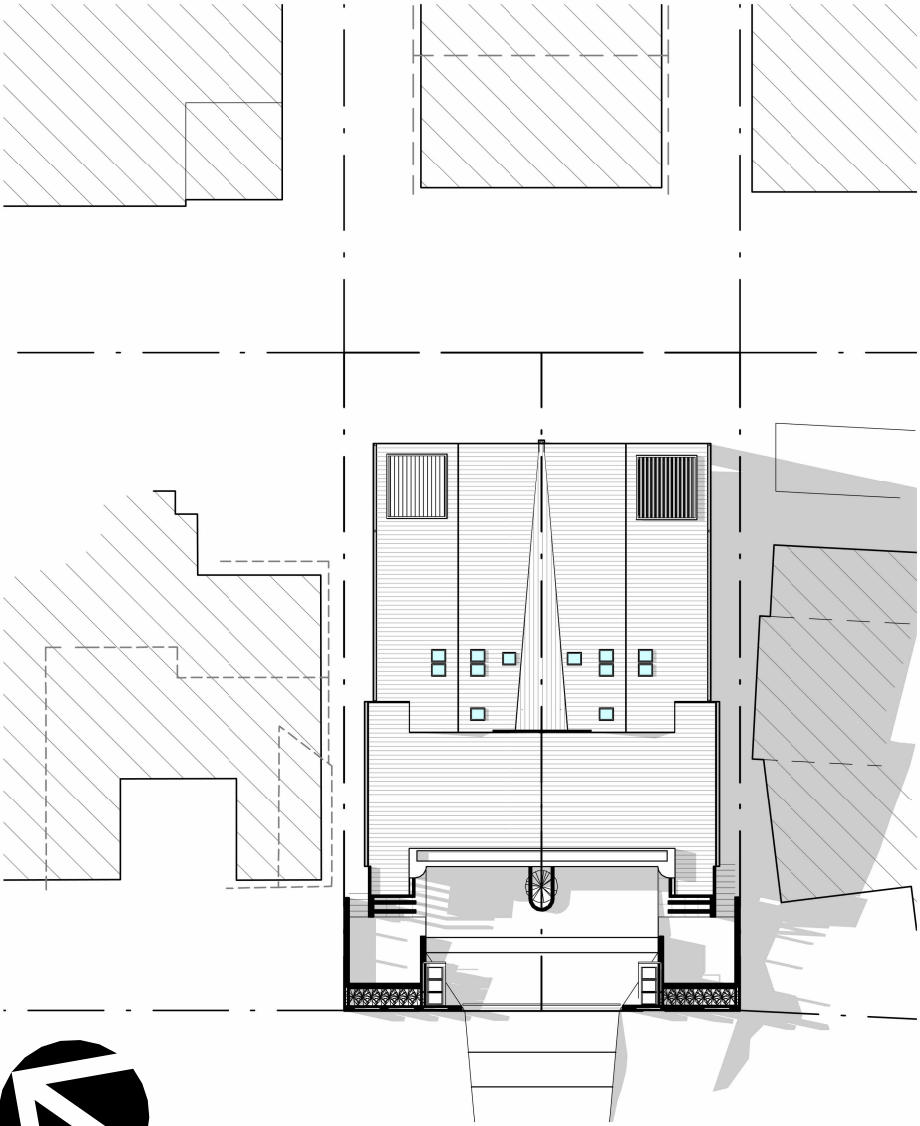
Date:	Revision:	Issue:	Drawn:
Date 4	Revision 4	D	
04.06.24	REVISED	E	AE
11.06.24	REVISED	F	AE
23.08.24	DRAFT DA ISSUE	G	AE
03.09.24	DRAFT DA ISSUE	H	AE
15.10.24	DA ISSUE	I	AF



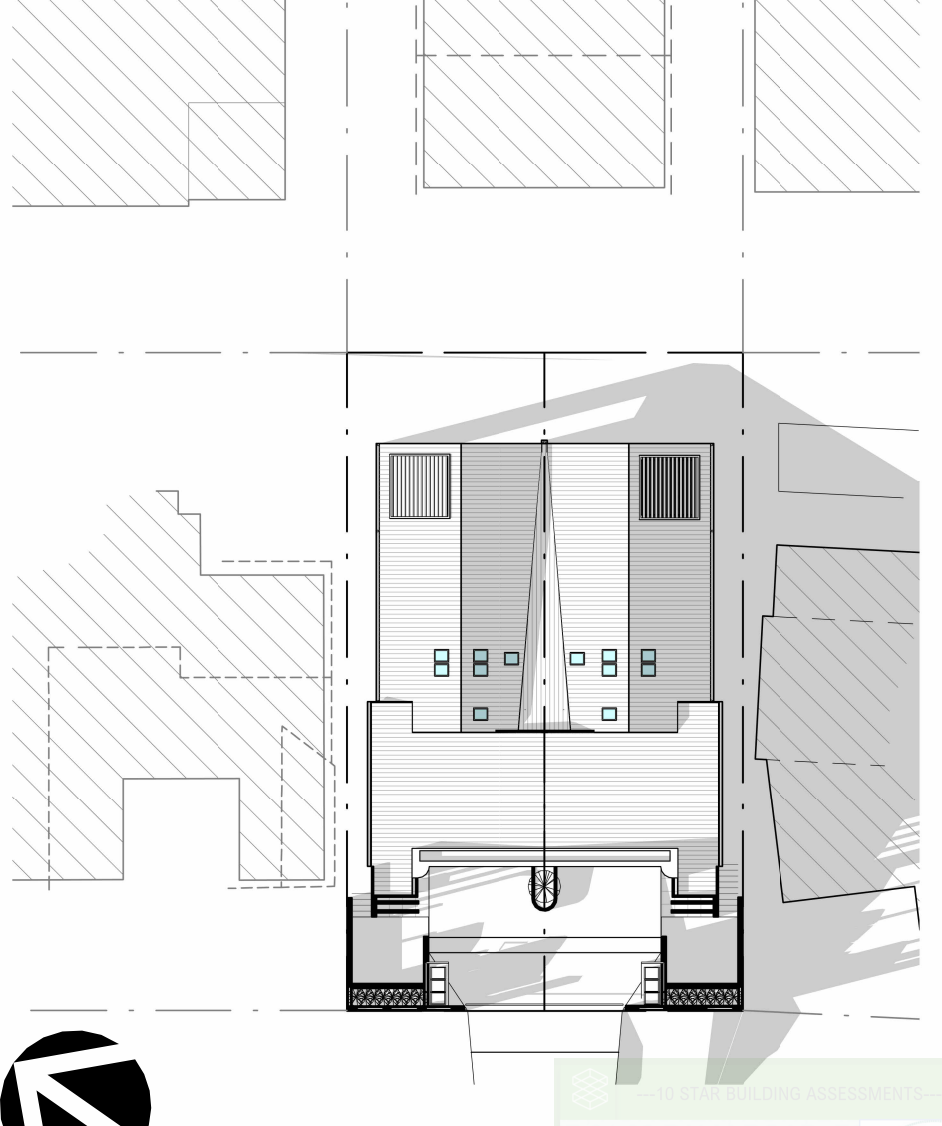
9AM SHADOW
1 : 350



11AM SHADOW
1 : 350



1PM SHADOW
1 : 350



3PM SHADOW
1 : 350



BUSHFIRE NOTES:

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).


BASIX NOTES:

BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

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BAL - XX



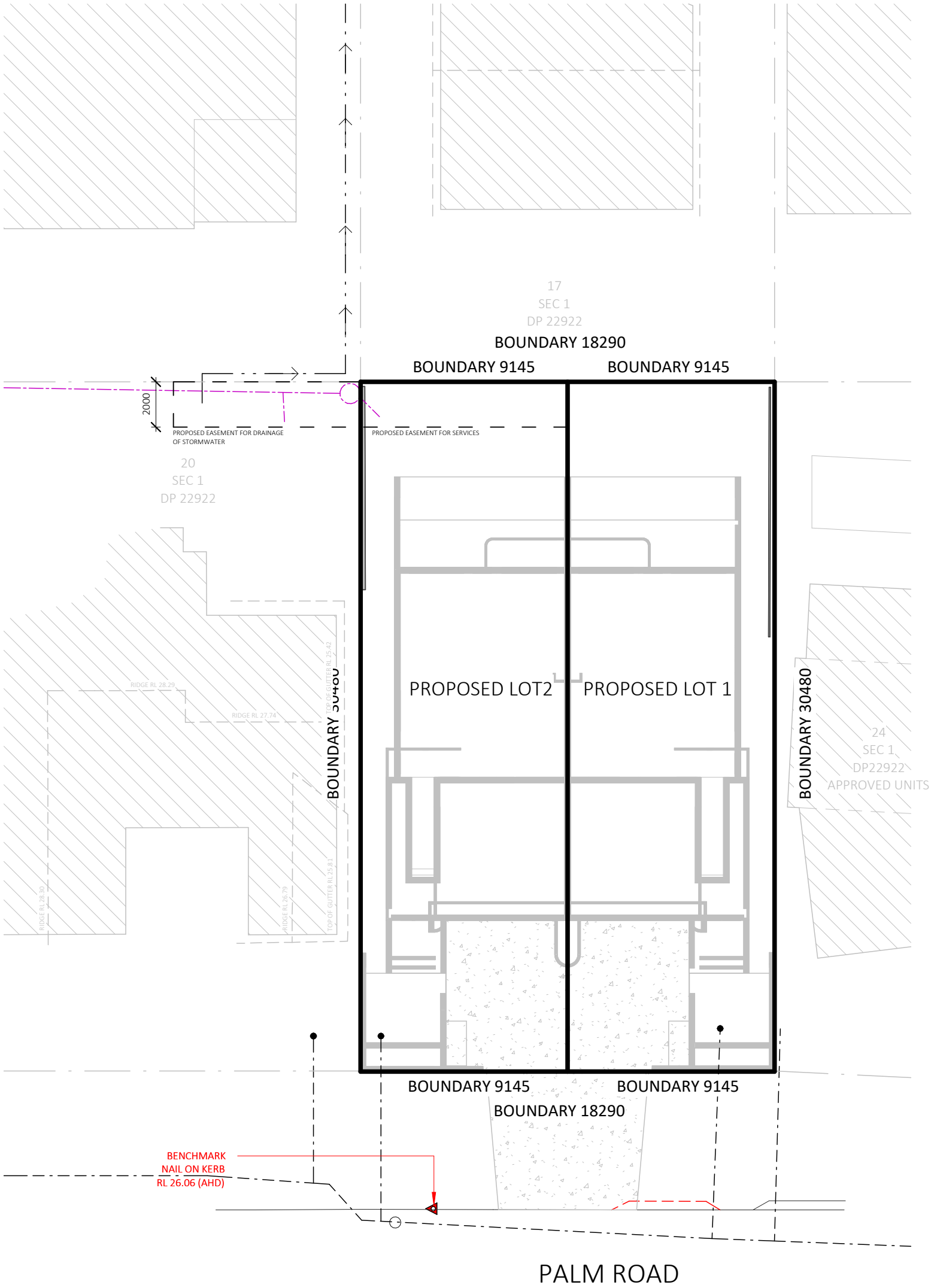
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Building Designers

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PROJECT:PROPOSED DUAL OCCUPANCY (STRATA)		SHADOWS		DRAWING REVISION + NOTES			
				Date:	Revision:	Issue:	Drawn:
STATUS:DA ISSUE	SHEET: 15 OF 21	SCALE:	1 : 350	Date 4	Revision 4	D	
LOT No: 25/1 DP No: 22922		SHEET SIZE:	A3	04.06.24	REVISED	E	AE
STREET: 32 PALM ROAD, FORSTER 2428		START DATE:	08.03.24	11.06.24	REVISED	F	AE
CLIENT: PENMAN		DWG No:	A5835	23.08.24	DRAFT DA ISSUE	G	AE
				03.09.24	DRAFT DA ISSUE	H	AE
				15.10.24	DA ISSUF	J	AE

EXISTING LOT SCHEDULE	
NAME	AREA
EXISTING	557.48 m ²
TOTAL: 1	557.48 m ²

PROPOSED LOT SCHEDULE	
NAME	AREA
PROPOSED LOT 2	278.74 m ²
PROPOSED LOT 1	278.74 m ²
TOTAL: 2	557.48 m ²




DRAFT SUB-DIVISION PLAN

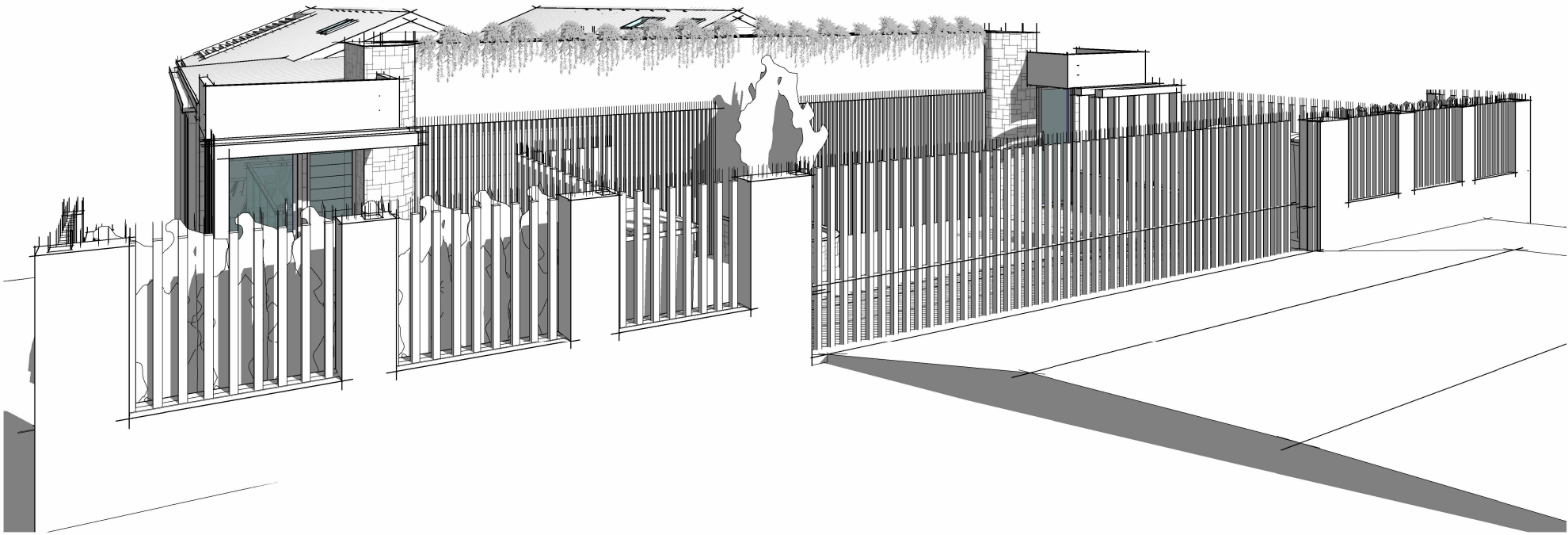
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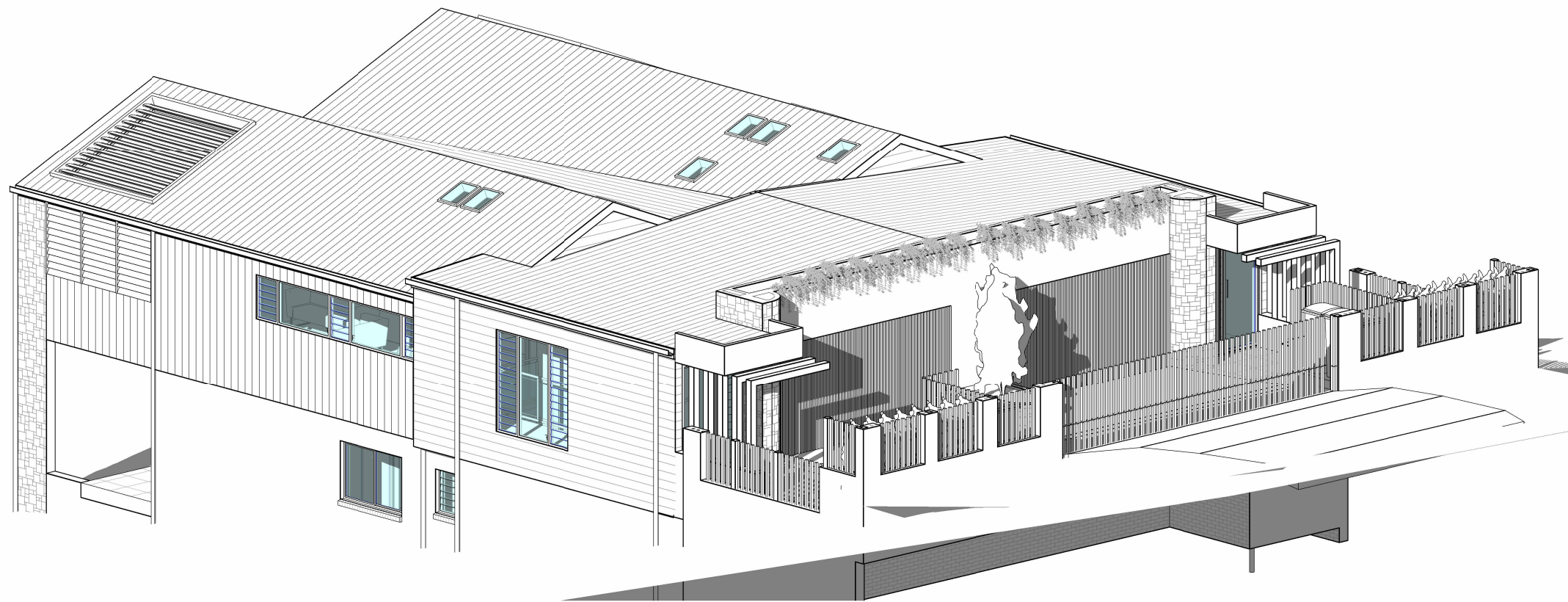
BUSHFIRE NOTES: BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).	BASIX NOTES: BASIX and NatHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.	GENERAL PLAN SET NOTES: CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS
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BAL - XX

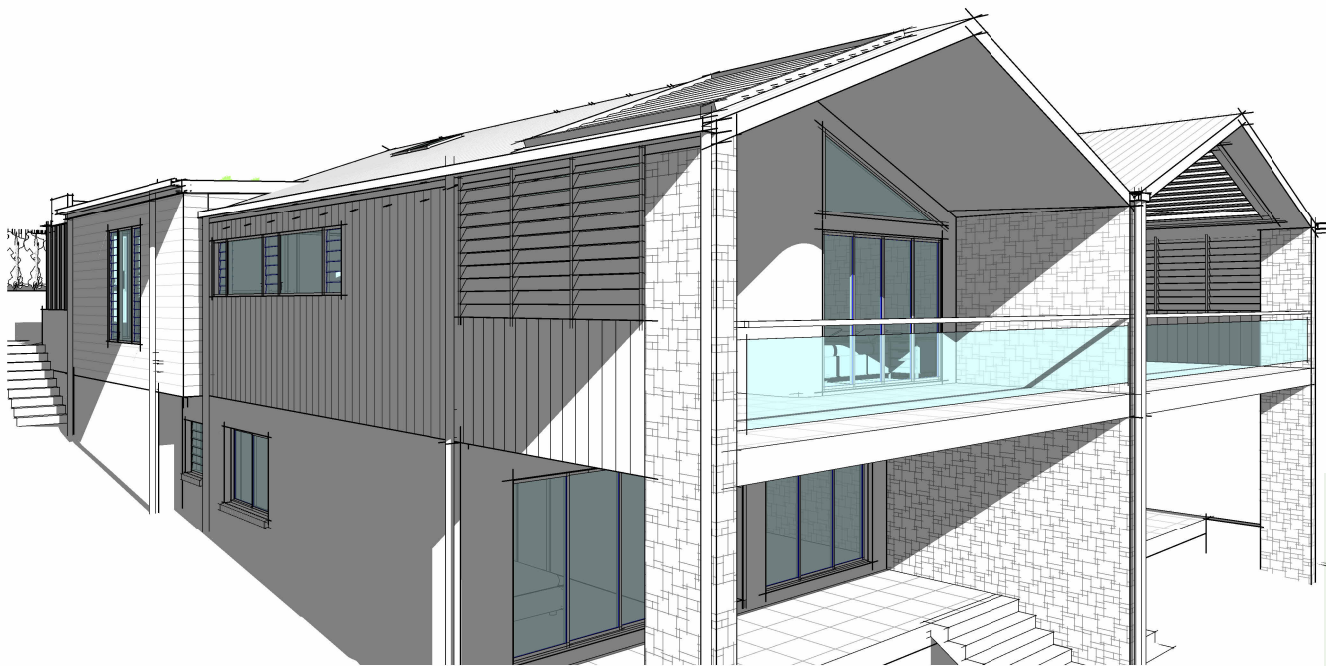
 89A Lord Street (PO Box 5667), Port Macquarie nsw 2444 Shop 17 Centrepont Arcade, Taree NSW 2430	<p>Note: Copyright © Collins.w.Collins PTY LTD All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders. <i>DO NOT SCALE</i> from this drawing. <i>CONTRACTOR</i> is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.</p>	PROJECT: PROPOSED DUAL OCCUPANCY (STRATA)		DRAFT STRATA SUB-DIVISION		DRAWING REVISION + NOTES				
		SHEET: 16 OF 21		PLAN		Date:	Revision:		Issue:	Drawn:
				STATUS: DA ISSUE	SCALE:	1 : 200	Date 4	Revision 4	D	
				LOT No: 25/1 DP No: 22922	SHEET SIZE:	A3	04.06.24	REVISED	E	AE
				STREET: 32 PALM ROAD, FORSTER 2428	START DATE:	08.03.24	11.06.24	REVISED	F	AE
				CLIENT: PENMAN	DWG No:	A5835	23.08.24	DRAFT DA ISSUE	G	AE
					03.09.24	DRAFT DA ISSUE	H	AE		
			15.10.24	DA ISSUE	J	AE				
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3D View 1



3D View 2



3D View 3



BAL - XX

BUSHFIRE NOTES:

BAL RATING AND BUSHFIRE REPORT TO BE COMPLETED DURING STAGE 2 OF PROJECT (IF REQUIRED).

BASIX NOTES:

BASIX and NATHERS TO BE COMPLETED DURING STAGE 2 OF PROJECT.

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